

PROJECT NAME

50 QUAIFES ROAD RMA/2022/2160/A

STAGE

STAGE 1

ADDRESS

50 Quaifes Road, Halswell, Christchurch, 8025

CLIENT

Halswell Country Estates Ltd.

LANDSCAPE DESIGN

ENGINEERING APPROVAL

18/03/2025

PREPARED BY

Kamo Marsh

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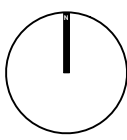
Te Uruti Building, 48 Hereford St, PO Box 2833, Christchurch 8140

Mountaineer Building, 32 Rees St, Queenstown 9300

REFERENCE NO.

5399

SHEET NO.	SHEET TITLE	SHEET SUBTITLE
1001	CONCEPT MASTERPLAN	LANDSCAPE PLAN
1201	FENCING PLAN	LANDSCAPE PLAN
1701	STREET TREE PLAN (SOUTH)	LANDSCAPE PLAN
1702	STREET TREE PLAN (NORTH	LANDSCAPE PLAN
1703	PLANTING PLANS	LANDSCAPE PLAN
3101	ROAD RESERVE + ACCESS RESERVES	CROSS SECTIONS
4001	DETAILS	DETAIL



50 QUAIFES ROAD
RMA/2022/2160/A

ADDRESS
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CLIENT
Halswell Country Estates Ltd.

CONCEPT MASTERPLAN
LANDSCAPE PLAN

ENGINEERING APPROVAL

- NOTES
1. Confirm set out of all dimensions on site prior to commencing work.
 2. Do not scale off drawings.
 3. A 'For Construction' Package must be provided before any construction works commence.

- LEGEND
- Extent of Works
 - Site Boundary
 - Lot Boundary
 - Asphalt - by others
 - Exposed aggregate cooncrete
 - 200x100 Cobble paving (Holland 80, fairface, Black Sands ex. Firth)
 - Lawn - by others
 - Garden Bed
 - Proposed Specimen Tree
 - Street Light with 6 metre tree setback radius (dashed). Locations are approx. Refer to Civils plans for final locations.
 - Directional Tactile - stainless steel studs drilled and expoxied into paving.

COX'S QUAIFES STORMWATER FACILITY (CCC)

Local Purpose Utility reserve (lot 40) with secondary flow path from stormwater facility. Area = 116 m2

Existing dwelling.

Existing trees, located on a private lot. Owner considering removal.

Existing gravel walkway.

Lizard habitat area

DP 512367

DP 25256

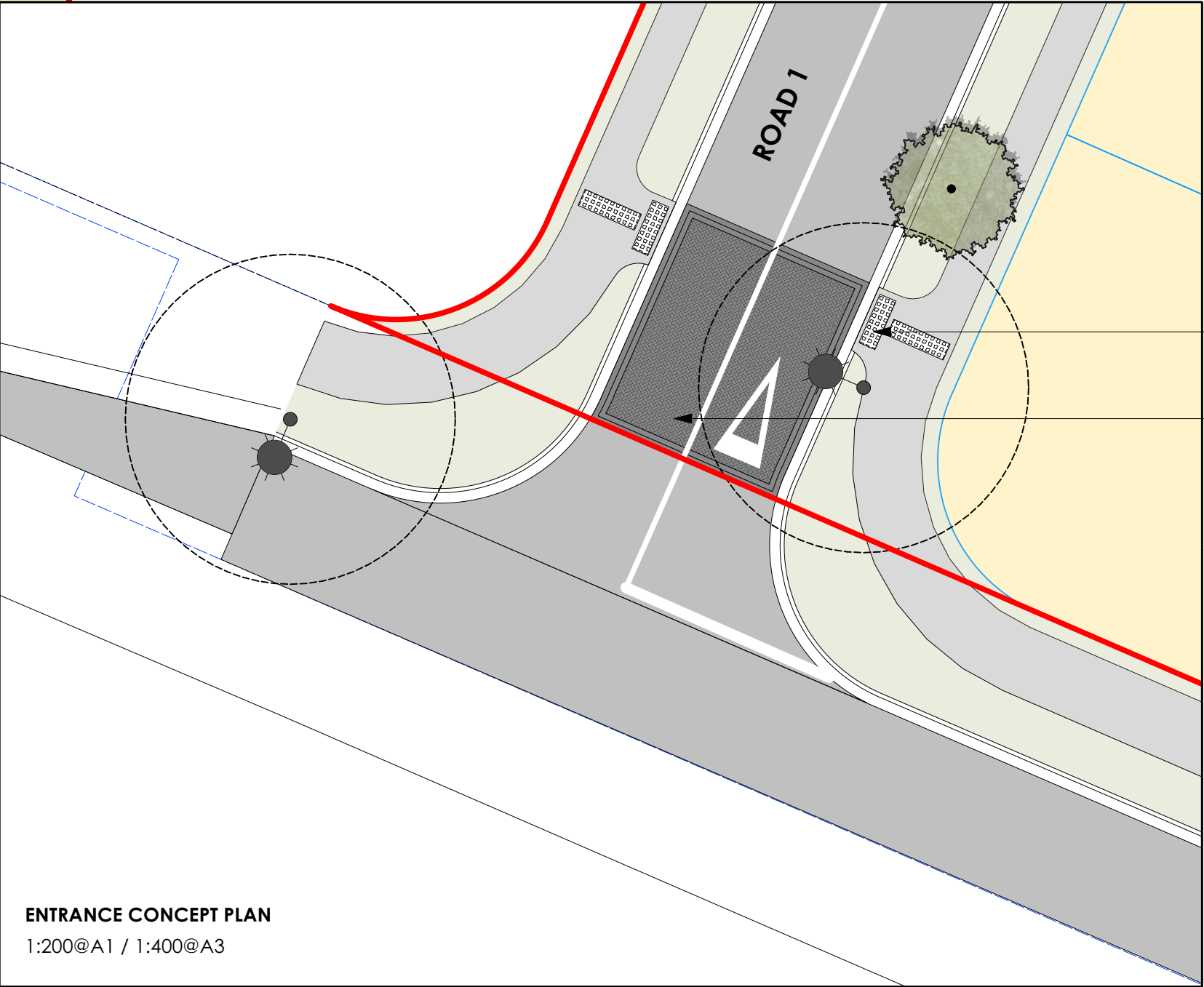
Indicative future footpath connection shown dashed to be confirmed when adjacent land is developed.

Local Purpose Access Reserve (lot 41) with walkway to future development. Area = 212 m2

FUTURE STAGE

QUAIFES ROAD

Shared cycle lane separated from the road.

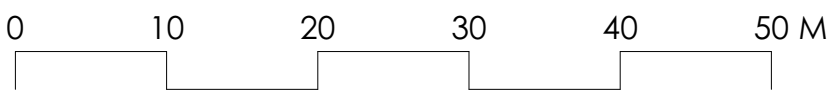


ENTRANCE CONCEPT PLAN
1:200@A1 / 1:400@A3

Tactile pavers set within paving.

200 x 100mm cobble paving, Holland 80 paver ex. Firth, fairface finish. Internal area in hearing bone pattern to be 'black sands' colour. Double header course to perimeter to be 'natural colour'.

DP 25256



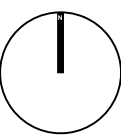
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C	29.01.25	DC	ENGINEERING APPROVAL
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Design TW Drawn TW Check BR	Date 18/03/2025 Scale 1:500@A1 or 1:1000@A3
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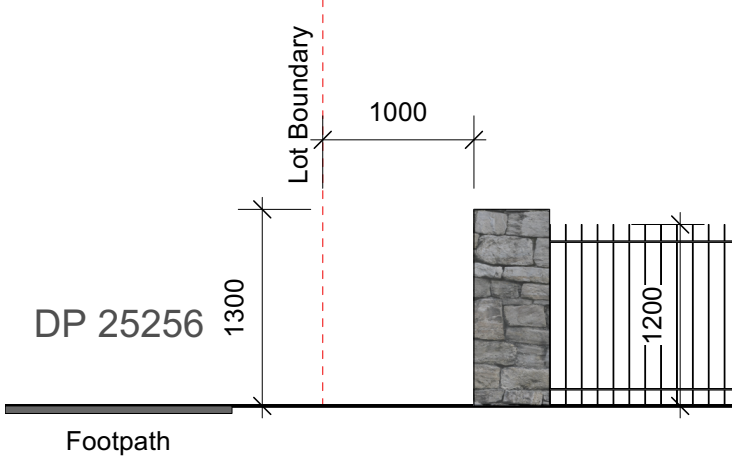
CLIENT
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FENCING PLAN
LANDSCAPE PLAN

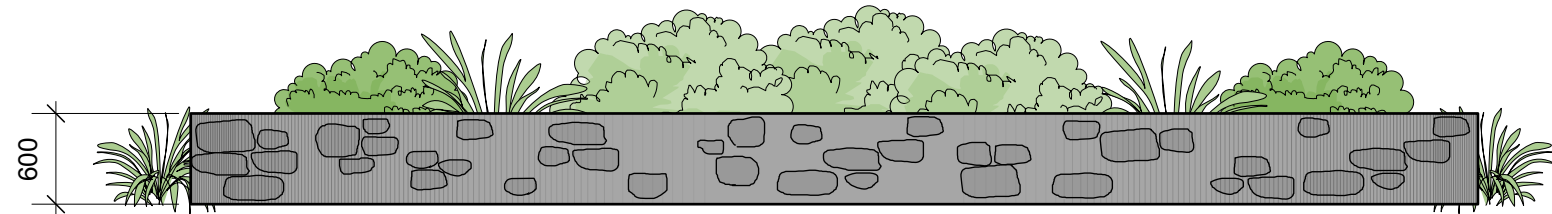
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- LEGEND
- 1.8m high Timber Pailing fence
 - Horizontal Retaining Boards beneath fence (see Civils documentation for details)
 - 1.2m high Aluminium Pool Fencing ex. Boundaryline
 - Low Stone Entrance Wall (within private lot)
 - Stone Feature Column (located within private lot).



STONE COLUMN / OPEN FENCE ELEVATION
1:50@A1 / 1:100@A3



LOW STONE ENTRANCE WALL ELEVATION
1:50@A1 / 1:100@A3



STONE WALL EXAMPLE

COX'S QUAIFES STORMWATER FACILITY (CCC)

Stone Columns located within private lots

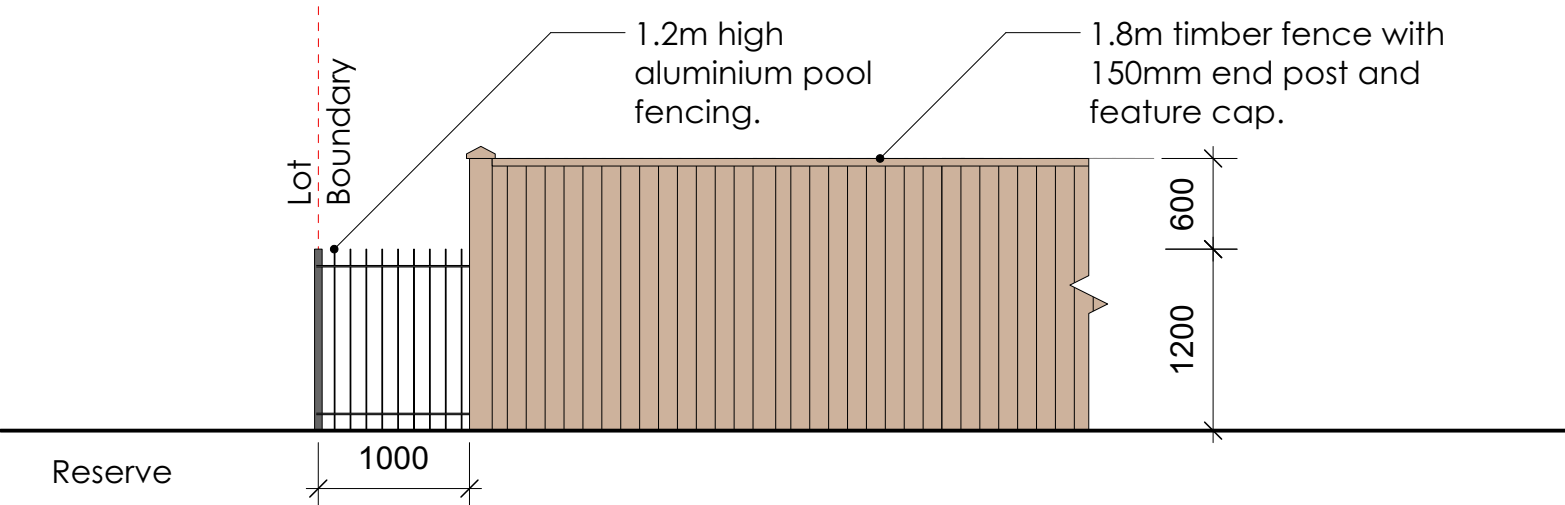
Stone Columns setback 1m located within private lots.

FUTURE STAGE

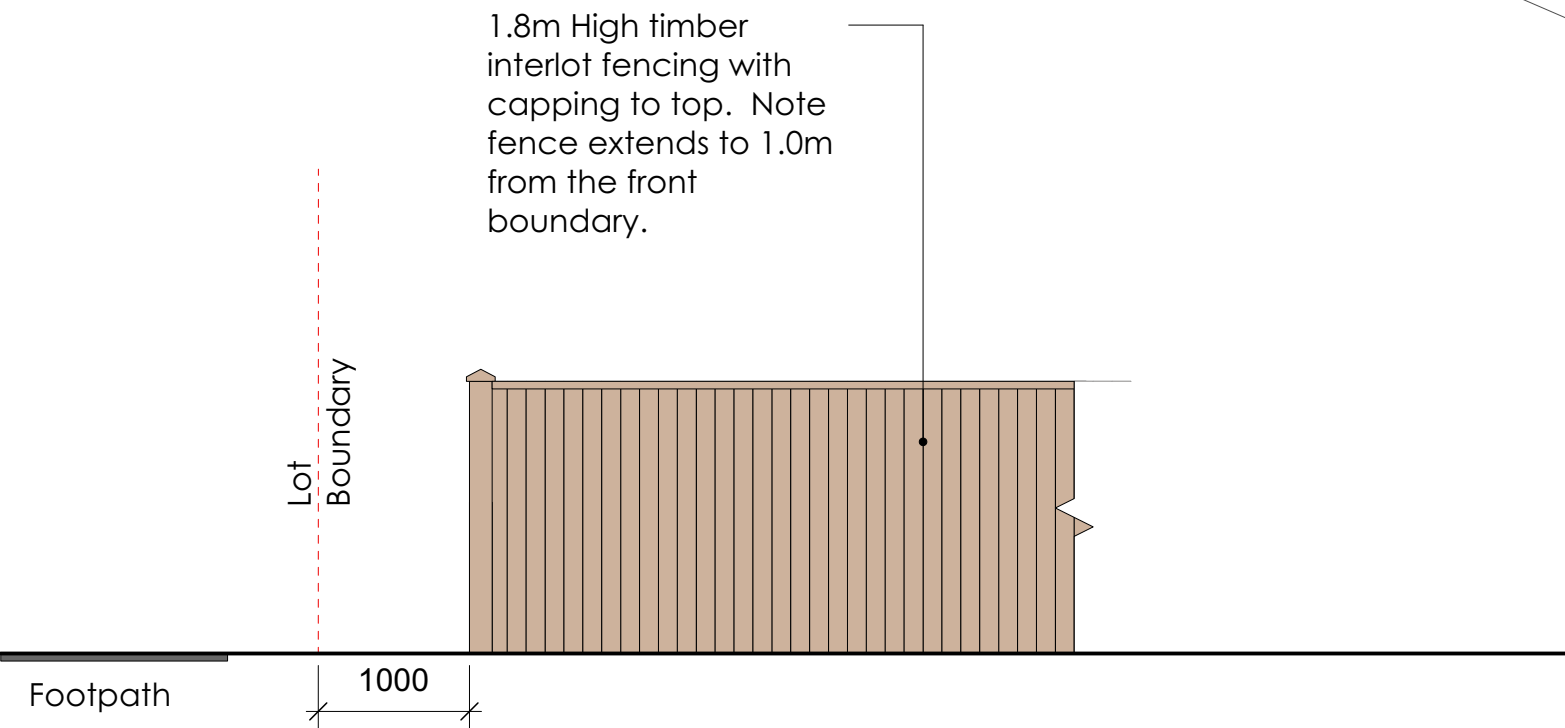
QUAIFES ROAD

DP 20779

DP 25256

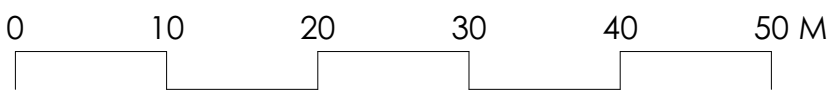


TYPICAL BOUNDARY FENCING JUNCTION WITH RESERVE
1:50@A1 / 1:100@A3



TYPICAL 1.8m HIGH ROAD BOUNDARY FENCE ELEVATION
1:50@A1 / 1:100@A3

Low Stone Entrance Wall located within private lot. (Not to be vested to CCC) Allow for concrete mowing strip at base of low stone entry wall.



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Planting Schedule - Street Trees					
ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Ma.io.P.	18	Malus ioensis 'Plena'	Prairie Apple	2000/35L	

NOTE:

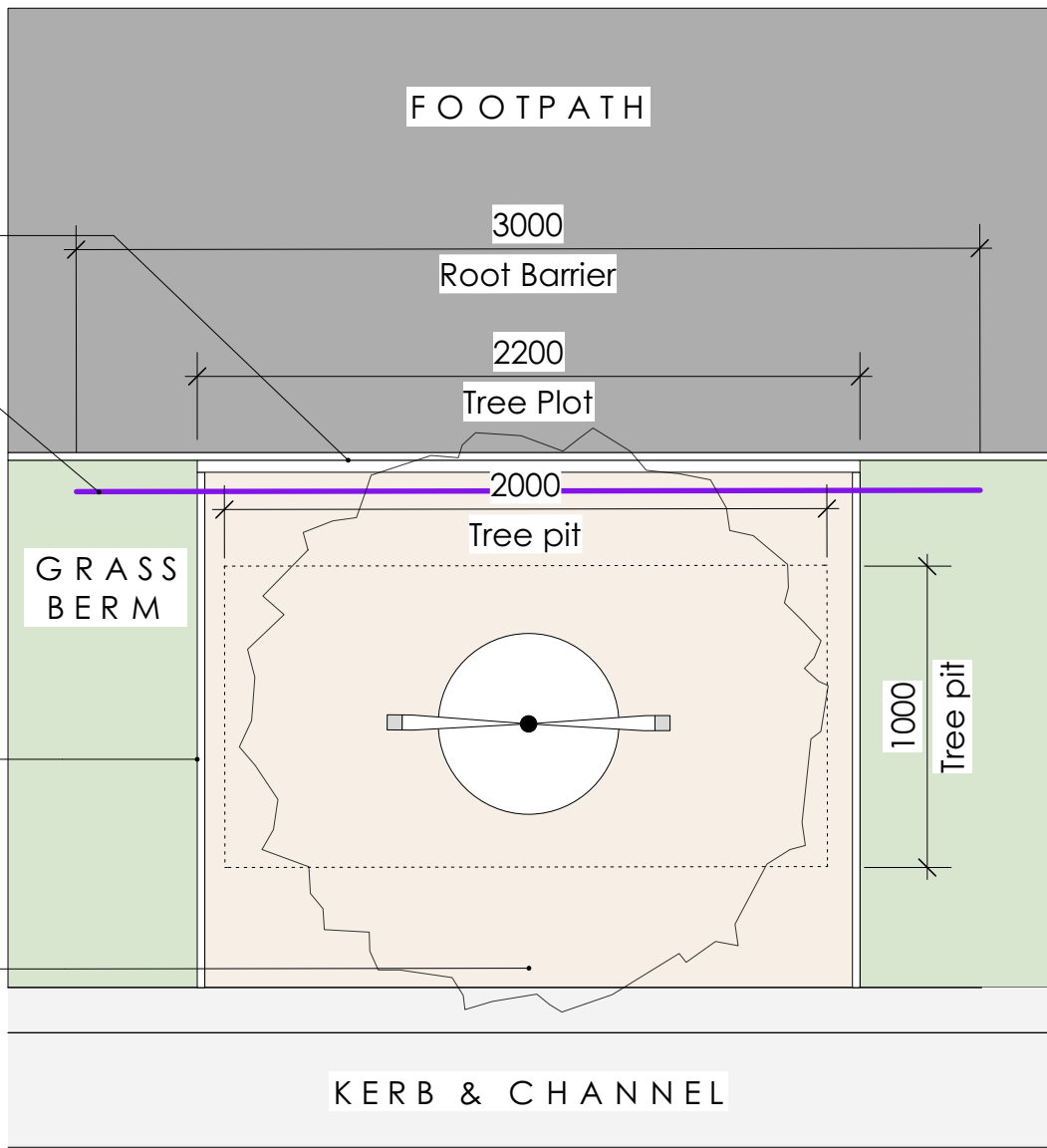
Construct tree pits and plant street trees in accordance with CCC CSS Part 7: SD702

200 X 40 H4 Batten adjacent to footpath timber batten edge.

'Nylex HDPE' root barrier as required (refer to plan). Location of root barrier in berm at edge of tree pit to comply with CCC CSS SD704. 3000mm width x 1200mm depth. Refer to plan for root barrier requirements.

150 x 25mm H4 radiata timber batten edge with 50 x 50 x 600mm pegs at 1.0m crs max. installed as per CSS SD721.

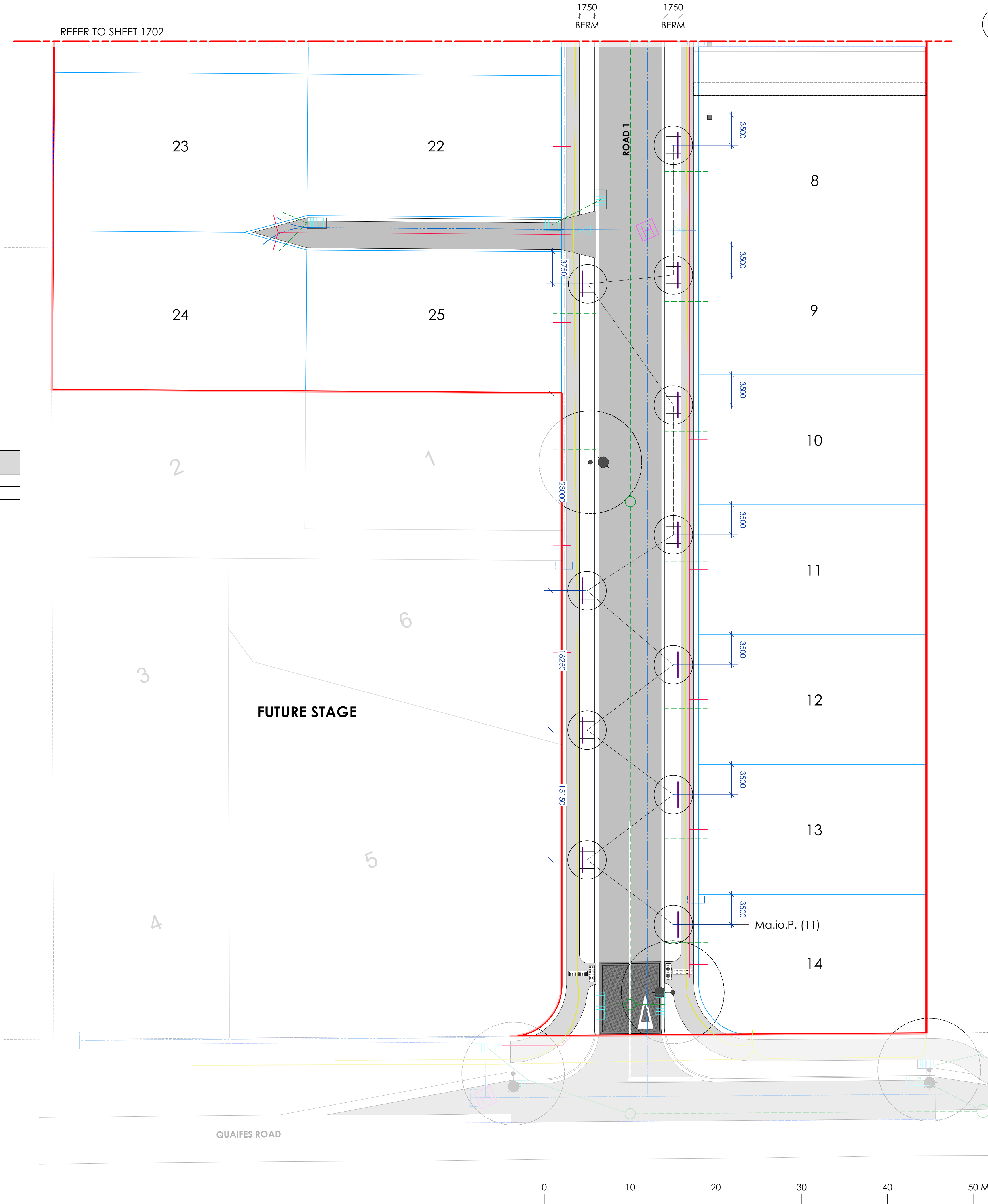
100mm Depth CCC CSSS compliant Bark Mulch.



TREE PLOT PLAN
1:25@A1 / 1:50@A3



IMAGE: Malus ioensis 'Plena'



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STREET TREE PLAN (SOUTH)

LANDSCAPE PLAN

ENGINEERING APPROVAL

NOTES

- Confirm set out of all dimensions on site prior to commencing work.
- Do not scale off drawings.
- A 'For Construction' Package must be provided before any construction works commence.

LEGEND

- Extent of Works
- Site Boundary
- Lot Boundary
- Root Barrier - 3.0 m x 1200 mm (D)Nylex' HDPE, or equivalent
- Proposed Street Tree
- Street Light with 6 metre tree setback radius (dashed). Locations are approx. Refer to Civils plans for final locations.

SERVICES

Note: services shown for information only -
Refer to Civil documentation for further details.

- Water Supply
- Stormwater
- Sewer System
- Power (LV) - Indicative Only for EA
- Sump

PLANTING NOTES:

- All plants shall be spaced at the specified distances shown on the plant list.
- All grasses and ground covers shall be planted no closer to the kerb or footpaths than the 'spacing' distance as is noted for each particular species on the plant schedule.
- Confirm setout of all plants prior to planting.

MULCH

- All plant beds are to have 100 mm consolidated depth depth 'superscree bark mulch' Ex. Intelligra, unless steeper than 1:3.

- All work is to adhere to CCC CS

STREET TREE SEPARATION DISTANCES

All street trees shall be planted a minimum distance from services etc., as follows:

- Stormwater & Sewer Laterals 2.0 m
- Street Lights 6.0 m
- Driveway or Pedestrian Cut-Downs 3.0 m

ROOT BARRIERS (RB)

- Contractor to confirm location of services prior to commencing work. Refer to DLS documentation for further detail.
- Top of RB shall be 100mm below finished grass berm.
- 3.0 m x 1200 mm deep RB used where tree is within 3.0 m of LV
- No tree shall be within 1.0 m of underground powerlines with or without RB.
- Root barriers shall be supplied and installed in accordance with SD 704 and IDS Part 10 Table

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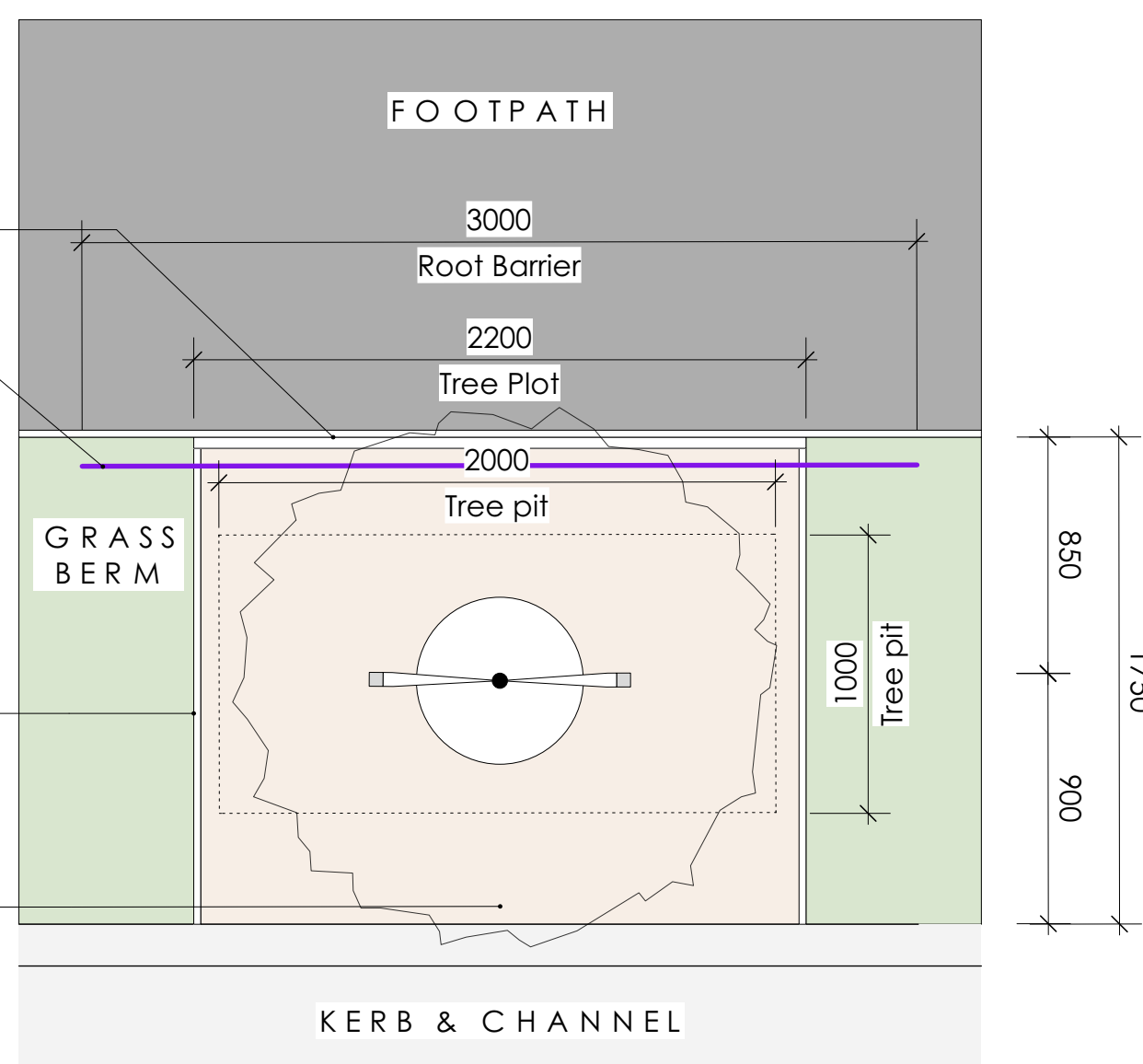
NOTE:
Construct tree pits and
plant street trees in
accordance with CCC CSS
Part 7: SD702

200 X 40 H4 Batten
adjacent to footpath
timber batten edge.

'Nylex HDPE' root barrier as required (refer to plan). Location of root barrier in berm at edge of tree pit to comply with CCC CSS SD704. 3000mm width x 1200mm depth. Refer to plan for root barrier requirements.

150 x 25mm H4 radiata
timber batten edge with
50 x 50 x 600mm pegs at
1.0m crs max. installed as
per CSS SD721.

100mm Depth CCC CSSS
compliant Bark Mulch.



TREE PLOT PLAN
1:25@A1 / 1:50@A3

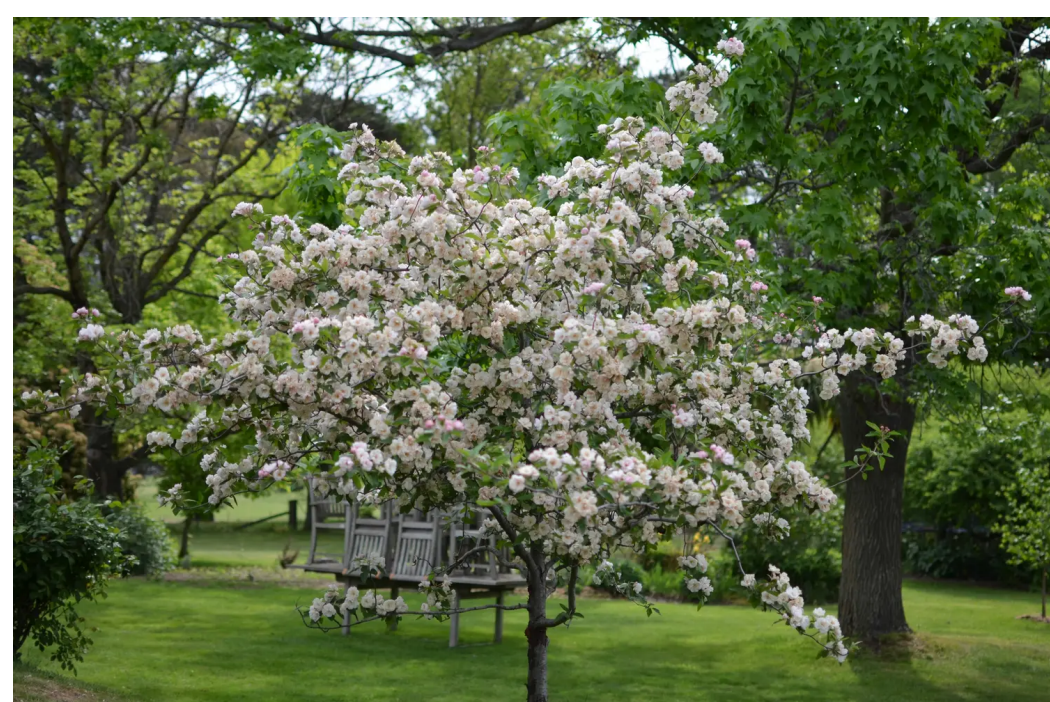
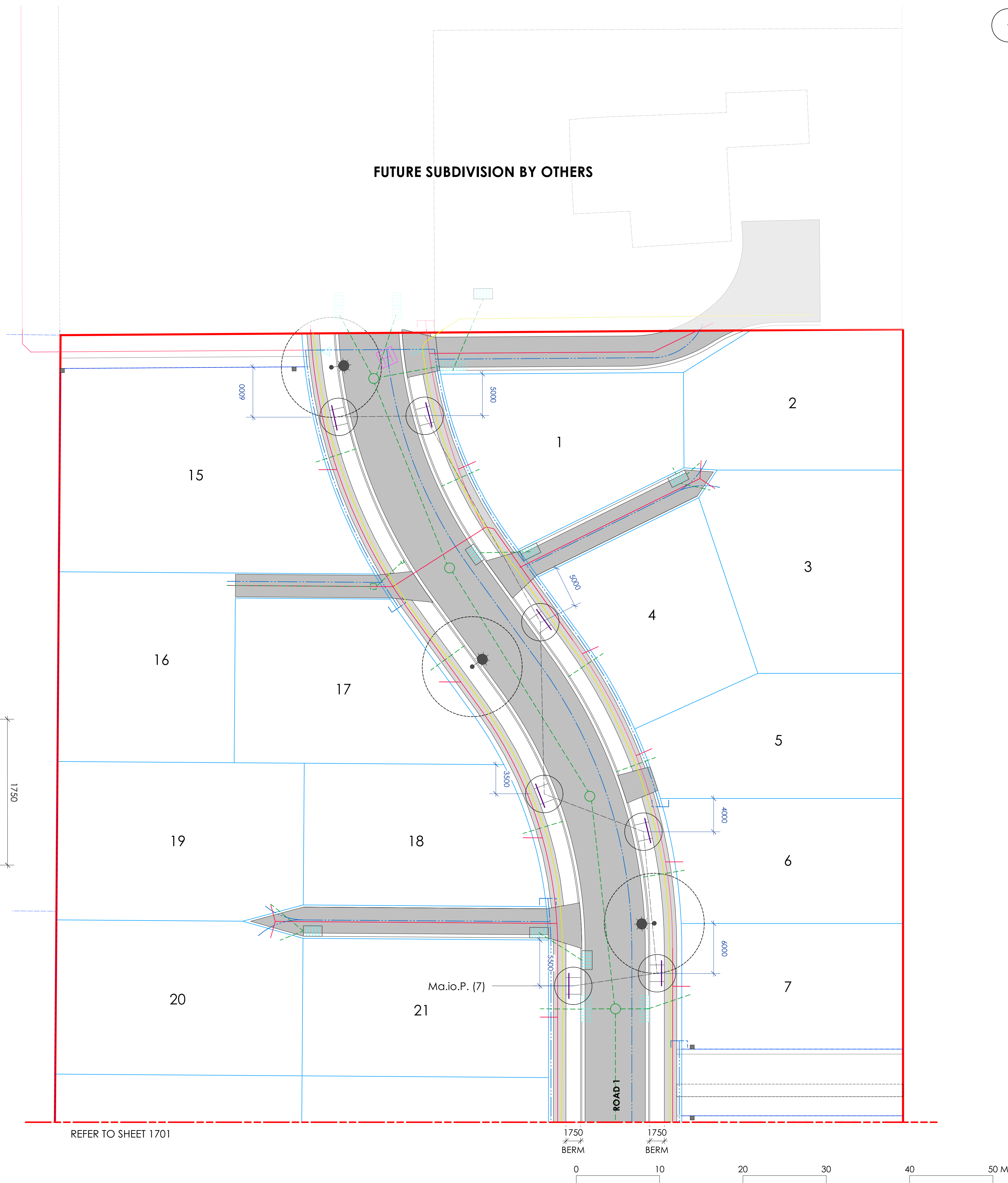


IMAGE: *Malus ioensis* 'Plena'



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STREET TREE PLAN (NORTH
LANDSCAPE PLAN

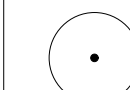
ENGINEERING APPROVAL

NOTES

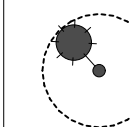
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LEGEND

-  Extent of Works
-  Site Boundary
-  Lot Boundary
-  Root Barrier - 3.0 m x 1200 mm (D)Nylex® HDPE, or equivalent



Proposed Street Tree



Street Light with 6 metre tree setback radius (dashed). Locations are approximate. Refer to Civils plans for final locations.

SERVICES

Note: services shown for information only -
Refer to Civil documentation for further details.

- Water Supply
- Stormwater
- Sewer System
- Power (LV) - Indicative Only for EA
- Sump

PLANTING NOTES:

1. All plants shall be spaced at the specified distances shown on the plant list.
2. All grasses and ground covers shall be planted no closer to the kerb or footpaths than the 'spacing' distance as is noted for each particular species on the plant schedule.
3. Confirm setout of all plants prior to planting.

3. Confirm setout of all plants prior to planting

MULCH

4. All plant beds are to have 100 mm consolidated depth depth 'superscree bark mulch' Ex. Intelligro, unless steeper than 1:3.

5. All work is to adhere to CCC CS

STREET TREE SEPARATION DISTANCES

All street trees shall be planted a minimum distance from services etc. as follows:

- | | |
|------------------------------------|-------|
| - Stormwater & Sewer Laterals | 2.0 m |
| - Street Lights | 6.0 m |
| - Driveway or Pedestrian Cut-Downs | 3.0 m |

ROOT BARRIERS (RB)

- Contractor to confirm location of services prior to commencing work. Refer to DLS documentation for further detail.
- Top of RB shall be 100mm below finished grass berm.
- 3.0 m x 1200 mm deep RB used where tree is within 3.0 m of LV
- No tree shall be within 1.0 m of underground powerlines with or without RB.
- Root barriers shall be supplied and installed in accordance with SD 704 and IDS Part 10 Table

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PLANTING PLANS

LANDSCAPE PLAN

ENGINEERING APPROVAL

NOTES

- Confirm set out of all dimensions on site prior to commencing work.
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LEGEND

- Extent of Works
- Site Boundary
- Lot Boundary
- Root Barrier - 3.0 m x 1200 mm (D)Nylex HDPE, or equivalent
- 75 x 25mm H4 timber batten edging where gardens are adjacent to lawn. Timber peg 1.0m max centres.

- Proposed Street Tree

- Street Light with 6 metre tree setback radius (dashed). Locations are approx. Refer to Civils plans for final locations.

SERVICES

Note: services shown for information only - Refer to Civil documentation for further details.

- Water Supply
- Stormwater
- Sewer System
- Power (LV) - Indicative Only for EA
- Sump

BOLLARDS

- 2- Pedestrian Entrance - 1.0m high x 200mm dia timber bollard
- 1- Vehicle Entrance for maintenance access - 600mm high x 200mm dia timber bollard



PLANTING NOTES:

Confirm setout of all plants prior to commencing planting & construction.

All plants shall be spaced at the specified distances shown on the planting schedule. Plants adjacent to kerbs or footpaths shall be no closer than this spacing.

All tree beds are to have 100 mm consolidated depth 'superscree bark mulch' Ex. Intelligiro..

STREET TREE SEPARATION DISTANCES

All street trees shall be planted a minimum distance from services etc. as follows:

- Stormwater & Sewer Laterals 2.0 m
- Street Lights 6.0 m
- Driveway or Pedestrian Cut-Downs 3.0 m

ROOT BARRIERS (RB)

- Contractor to confirm location of services prior to commencing work. Refer to DLS documentation for further detail.

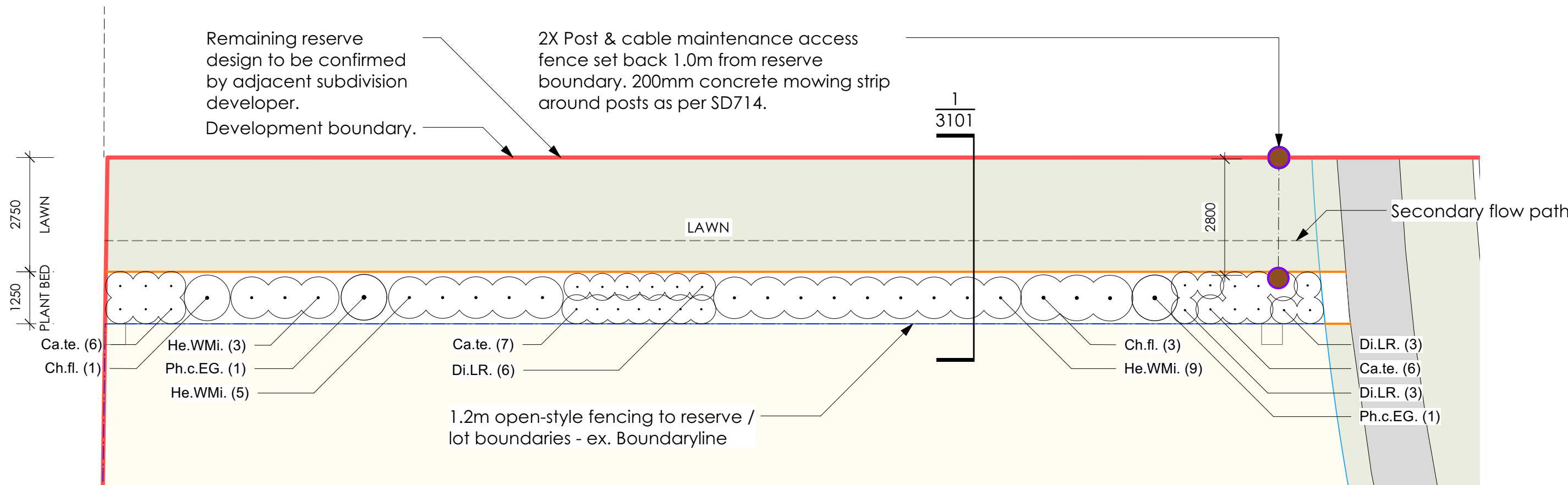
- Top of RB shall be 100mm below finished grass berm.

- 3.0 m x 1200 mm deep RB used where tree is within 3.0 m of HV

- 2.0 m x 300 mm deep RB used where tree is within 3.0 m of LV underground powerlines.

- No tree shall be within 1.0 m of underground powerlines with or without RB.

- Root barriers shall be supplied and installed in accordance with SD 704 and IDS Part 10 Table



LOCAL PURPOSE (UTILITY) RESERVE - LOT 40

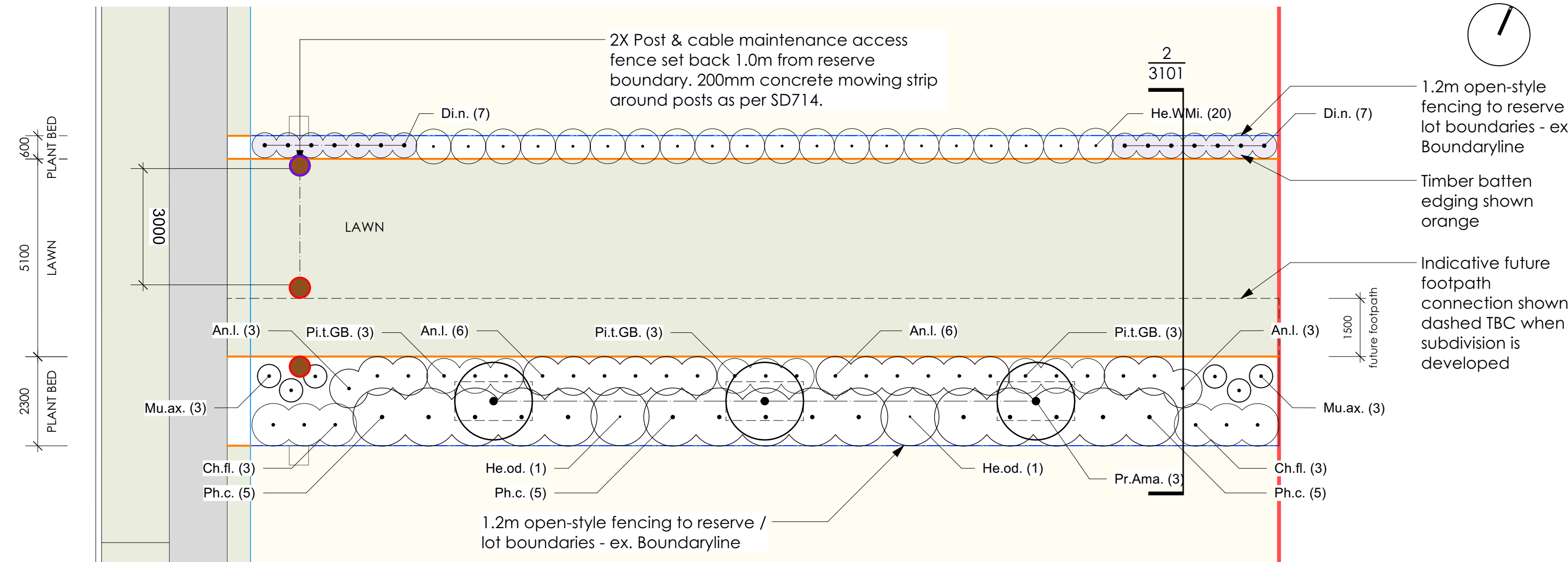
1:100@A1 / 1:200@A3

NOTE:

Lawn = 81m2
Garden = 38m2

Planting Schedule - Reserve Planting - Lot 40

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
Ca.te.	19	Carex testacea	Sedge	250/1L	Plant at approx. 600mm centres
Ch.fl.	4	Chionochloa flavicans	Miniature Toe Toe	300/2.5L	Plant at 800mm centres
Di.LR.	12	Dianella 'Little Rev'	Tasmanian Flax Lily	200/1.5L	Plant at 600mm centres
He.WMi.	17	Hebe 'Wiri Mist'	Koromiko	300/2.5L	Plant at 800mm centres
Ph.c.EG.	2	Phormium cookianum 'Emerald Green'	syn. 'Green Dwarf'	300/2.5L	Plant at 850mm centres



LOCAL PURPOSE (ACCESS) RESERVE - LOT 41

1:100@A1 / 1:200@A3

NOTE:

Lawn = 138m2
Garden = 76m2

Planting Schedule - Reserve Planting - Lot 41

ID	Qty	Latin Name	Common Name	Scheduled Size	Remarks
An.l.	18	Anemanthella lessoniana	orizopsis/windgrass	350/2.5L	Plant at 800mm centres
Ch.fl.	6	Chionochloa flavicans	Miniature Toe Toe	300/2.5L	Plant at 800mm centres
Di.n.	14	Dianella nigra	Turutu	300/PB5	Plant at 600mm centres
He.od.	2	Hebe odora	Baxwood Hebe	250/2.5L	Plant as shown
He.WMi.	20	Hebe 'Wiri Mist'	Koromiko	300/2.5L	Plant at 800mm centres
Mu.ax.	6	Muehlenbeckia axillaris	Pohuehue	100/2.5L	Plant at 450mm centres
Ph.c.	15	Phormium cookianum	Mountain Flax / Wharariki	300/2.5L	Plant at 1200mm centres
Pl.t.GB.	9	Pittosporum tenuifolium 'Golf Ball'	Dwarf Pittosporum	300/2.5L	Plant at 800mm centres
Pr.Ama.	3	Prunus 'Amanogawa'	Upright Flowering Cherry	1500/25L	

Pr.y. 3 Prunus yedoensis

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REVISION

E

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DETAILS

DETAIL

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LEGEND

PLANTING NOTES:

All plants shall be spaced at the specified distances shown on the plant list.

All grasses and ground covers shall be planted no closer to the kerb or footpaths than the 'spacing' distance as is noted for each particular species on the plant schedule.

Confirm setout of all plants prior to planting.

MULCH

All plant beds are to have 100 mm consolidated depth bark mulch.

All work is to adhere to CCC CSS

Street Tree Separation Distances

All street trees shall be planted a minimum distance from services and other elements as follows.

- Stormwater & Sewer Laterals	2.0 m
- Street Lights	6.0 m
- Driveway or Pedestrian cut downs	3.0 m

Root Barriers (RB)

- Top of RB shall be 100mm below finished grass berm.
- 3.0 m x 1200 mm deep RB used where tree is within 3.0 m of HV
- 2.0 m x 300 mm deep RB used where tree is within 3.0 m of LV underground powerlines.
- No tree shall be within 1.0 m of underground powerlines with or without RB.
- Exact tree locations to be confirmed prior to commencing construction.
- Contractor to confirm location of services prior to commencing work. Refer to DLS plans for further detail.

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TYPICAL TREE PIT
SCALE 1:20



TYPICAL TREE PIT WITH ROOT BARRIER
SCALE 1:20

